

Planning, Design and Access Statement

The restoration and redevelopment of The Regal Cinema and adjoining site, including the demolition of the adjoining extensions to the historic element. The proposal will provide a mixed use ground floor, with two cinema screens and an ancillary café bar (Use Class A3), and a total of 33 residential apartments to be located on the floors above.

At

The Regal Cinema, 491 – 495 Hale End Rd, Highams Park, London, E4 9PT

On behalf of

Mammoth Construction
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London
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1.0 Introduction

This Planning, Design and Access Statement has been written in support of a development proposal; comprising of the redevelopment of The Regal Cinema and adjoining Shelz Site in Highams Park into a mixed use scheme comprising a new cinema, café and 33 1 and 2 bed apartments.

Background

The Regal was bought by Total Security Services (TSS) to become their Headquarters in 2014.

Planning permission was granted for a new Headquarters on the Shelz site. During the time to gain consent, the business grew to such a point that it was too large to move into the consented building.

TSS ultimately relocated to a new commercial property behind Tescos but remained the owners of The Regal. They commissioned Clear Architects to develop proposals to bring back the cinema and introduce a residential offering. During the development of these proposals the scheme was presented to the Design Council Cabe for review. They made the following points in relation to these proposals –

- *There is scope to provide a new focal point within the area by delivering a high-quality distinctive development and for the scheme to act as a catalyst for further investment in the local centre of Higham's Park.*
- *Restoring this historic building and re-providing the public cinema use will deliver significant benefits to the area*
- *The scheme is overbearing and constrains the quality of units and amenity spaces that can be delivered.*
- *Recommend that options for a non-basement scheme are explored and assessed.*
- *Some of the units will not benefit from outdoor private amenity space and are likely to be deficient in terms of natural light and outlook*
- *The current site configuration does not make the most efficient use of the space available for development.*
- *There is too much bulk at roof level and we recommend exploring ways to reduce the prominence of the roof by reconsidering its scale and massing.*
- *We think there may be some scope to incorporate a roof extension as a marker.*
- *It would be preferable to create a more active, open frontage at ground level.*

The Clear Architect's subsequent scheme sort to address some of the above issues and gained planning permission in November 2021 (application no. 173877)

Following a review by the current owners of The Regal, Mammoth Capital, the consented scheme was deemed to be unsuitable for their requirements.

Weedon Architects were commissioned by Mammoth Capital to review and redesign the proposal to address their requirements, statutory issues prevalent in the consented scheme, the Design Council recommendations not addressed previously and Local Authority

recommendations following various stages pre application advice and a public consultation. The Client team has been working closely with the Council with numerous workshops to ensure the proposed scheme and submitted information aligns with the aspirations of the Council and the local community. Whilst the application has been formed, the Client has commissioned a number of surveys and reports that accompany this application.

Content of Statement

Refer to the Planning Consults Report.

The statement supports the submission of the planning application and concludes that the proposed development, for the restoration of The Regal Cinema and the integration of 33 apartments within a 6-storey building, is in accordance with national and local planning policy.

2.0 Site and Surrounding Area

The Regal frontage is iconic and located in the heart of Highams Park. Highams Park over the last 7 years has seen a swathe of community led redevelopment comprising of improvements to shop fronts with new signage, new developments of commercial units and flats including the Tesco development. The Tesco development includes a large multi-storey 350 space underground carpark that provides 3 hours free parking to anyone (not restricted to users of Tesco).

Further community led improvements include the re-use of the former Train Station Junction Box as a café and the refurbishment of the Train Station foyer.

The result of these recent efforts is a revitalised 'village' feel within a significant town located in the London Borough of Waltham Forest. Highams Park is a commercial centre that is starting to feel the benefits of regeneration with its approximate 130 shops and restaurants surrounding the site with The Regal at its heart.

The nearby Tesco development has brought forward the development of smaller more cost effective homes that have attracted young professionals keen to live in this vibrant community with its close proximity to Epping Forest and easy access to the City and West End.

Due to the influx of young professionals who are able to purchase their own homes, confidence in the local area is growing with private investment being made into local shops, restaurants, and pubs

Highams Park has a strong community and includes a 1000-member strong Highams Park Planning Group (HPPG). During the preparation of their local plan, one of the key findings of their consultation was that local people wanted to see a more active night time economy and that including a cinema in any proposals to restore The Regal would contribute to that.

The proposed development is 100 metres from Highams Park Train Station and 200 metres from the large Tesco development, which consists of a Tesco Superstore, commercial units, offices, apartments, and a large multi-storey car park with 3 hours free parking.

The architecture in Highams Park is varied with no principal architectural characteristic.

Architecture in the locality ranges from contemporary/modern to Art Deco (The Regal front building) and Victorian.

Fig 2.0.1: Development site – long view south



Fig 2.0.2: Development site – long view west



2.1 The Regal/Site History

The locally listed Regal Cinema in Highams Park opened in 1910 / 1911 as the 'Highams Park Electric Theatre'. Renamed as 'The Regal Cinema' in 1928, it was partly rebuilt with an art deco façade, designed by Howes and Jackman's and was constructed in 1935 by Messrs. E.A. Russell Ltd. As part of these works, there was the addition of an entrance foyer and café formed in the circle.

Although most of the original auditorium remains, the original entrance with classical and Edwardian motifs were replaced.

The building operated as a cinema for 60 years before closing in 1971. It subsequently reopened as a bingo hall, which was later used as a snooker hall, bar and nightclub before finally being repossessed.

The Regal is comprised of two elements;

- The Art Deco main façade and the reason for its locally Listed Status.
- The rear, which is older but plain and lacking in architectural merit.

The Regal has been vacant for a number of years following the closure of the snooker club in the rear section of the building. The snooker club came into financial difficulty and had no option but to close the business. The snooker club's lease was a standard fully insuring and repairing lease that the present Freeholders inherited when the entire building was bought. On examination of the building, the Freeholder's established that the rear section of the property was in a very poor state of repair and needed essential works to make it safe. With the snooker club rescinding their lease, the Freeholders established that the full repair of the building was not economically viable and with the structure being of such poor quality, it was deemed not worth saving.

The front section of The Regal was last used as a private members club. This was closed prior to the Freeholders purchasing the building. The front section of the building is also in a poor state of decay and due to the existing layout is unsuitable for conversion. The proposal seeks to retain the primary Regal façade and masonry return onto Beech Hall Road.

The rear section of the Regal is architecturally unremarkable with add-ons and miss-matched materials further reducing the quality when compared to the Art Deco entrance. The existing side elevation is dominated by a single storey brick extension that projects past the adjacent residential building line and hard up against the pavement edge. Above this and stepped back onto the building line is an elevation of large vertical rendered panels interrupted by brick piers. These panels gradually step up along their length as they approach the Art Deco façade on the corner. The roof of the rear block is starting to collapse due to excessive water damage. In high winds, the inside of the roof can be seen to lift. The entire rear section of the existing building is to be removed to facilitate this proposal.

Full analysis has been made of the building in relation to its Heritage Status. This has concluded the front of the Art Deco section to be of particular interest whilst the rest of the building is utilitarian and unremarkable.

Reference is to be made to the Historic Building Survey Report, which is to be read in conjunction with this Design and Access statement. The advice / recommendations of the specialist have been taken into account throughout the design / treatment of the main art deco façade.

3.0 Use & Amount of Development

3.1 Use

This proposal will see the complete redevelopment of The Regal and the adjoining Shelz site in order to provide a 2-screen cinema, associated café and 33 apartments to be sold on the open market. The Cinemas, foyer and cafe will be located at ground floor level. The residential apartments are located above these elements to maintain the maximum amount of active, open frontage at street level. The scheme is situated within a long-established neighbourhood with a broad range of community facilities within 5-10 minute walk distance. The site is close to new and established retail offerings as well as public transport links and will provide a positive contribution to a vibrant local community.

As a fundamental part of the proposal the Art Deco façade of The Regal fronting Hale End Road and Beech Hall Road will be retained and restored. This element of the building contains the features of architectural merit that led to the building being locally listed.

3.2 Amount of Development

The proposal is for a 6-storey mixed-use development that seeks to restore, reinforce, and respect the existing building line to both street frontages and make the most efficient use of the 1Ha site, all of which is currently either vacant, derelict or in disrepair.

The existing Regal building, sitting as it does on the corner of the residential Beech Hall Road and the more commercial/mixed use Hale End Road, currently fails to provide an active fulcrum from one to the other.

The proposal is designed to re-activate and reinforce this transition with the existing Regal Cinema façade acting as the primary axis with the subservient return elevation treatments designed to appear as if stepping up to it from the surrounding low-rise buildings. To further reinforce the Regal's importance as a local landmark, a sympathetic vertical masonry extension above the existing façade, stepped back from the original, provides a readily identifiable marker at the intersection of both roads and from longer views. Remaining accommodation to the upper storeys is finished with a non-masonry material palette and is set further back from the street edge to visually reduce the mass of roof scape.

The residential offering is formed of 1-2 bed apartments to suit varying numbers. The areas for these units vary from 50.1m² to 77.6m².

Please refer to Weedon Architect's Location Plan; A8000 & Proposed Site Plan; A8001. Fig 3 below, indicate the scope of this application.

Fig 3.2.1: Site Boundary (not to scale)



4.0 Layout

4.1 Site Layout

The building layout at ground floor level is arranged so that commercial activity, namely the cinema entrance and café, opens out onto the corner of Hale End Road and Beech Hall Road within the boundaries of the restored Regal Cinema façade. Beyond this and further down Beech Hall Road, the layout provides access to the residential accommodation and associated plant rooms, cycle and bin stores as well as back of house access for the cinema.

Along Hale End Road, large glazed windows will provide views of customers entering and exiting one of the cinema screens, providing further activity at street level particularly when illuminated at night.

Whilst the facade does feature areas of relief in the form of reveals and piers at street level none are deep enough to attract and conceal anti-social behaviour.

Above the ground floor the residential accommodation forms an ‘L’ shape stepped back from the principal facades and wrapping around a small internal courtyard at the second floor.

Wherever possible residential units will benefit from outdoor amenity space in the form of bolt-on or recessed balconies or terraces. Where these are not feasible, units will be designed to benefit from as far a possible maximised daylight levels.

Fig 4.1.1: Layout of proposed ground floor (not to scale)



4.2 Accessible Accommodation

Within the scheme there are x3 accessible apartments, which are split across the first, second and third floors, providing both 1 bed and 2 bed options. The position of these apartments have been considered due to the close proximity to the lift, limiting the distance required to each apartment.

Fig 4.2.1 First Floor:
01-03 – 1 bed 2 person

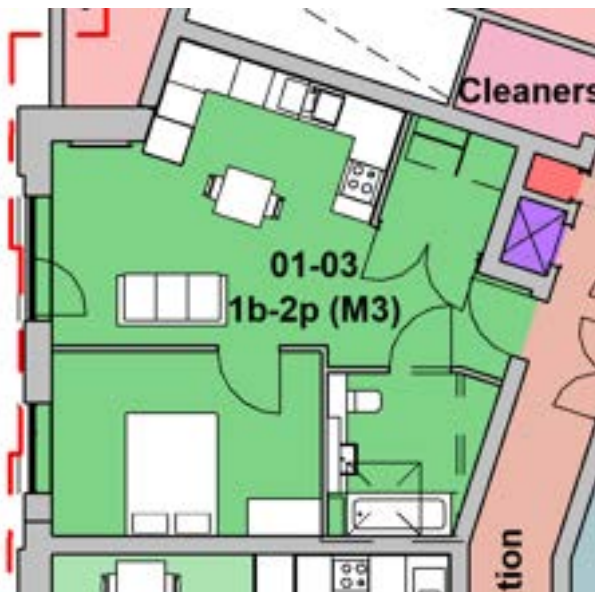


Fig 4.2.2 Second Floor:
02-04 – 1 bed 2 person



Fig 4.2.3 Third Floor:
03-06 – 2 bed 3 person



4.3 Single Aspect Units

When comparing the proposed Weedon Architects scheme with the previous approved Clear Architects scheme, there is a reduction in dual aspect apartments. This is due to the form of the building being adapted and re-modelled, from previously a courtyard which although enabled dual aspect apartments, the nature of the outlook was mainly internal, resulting in a loss of privacy and considerable shading.

Weedon Architects have sought to address this, by reviewing the overall buildings form, proposing an L shape, which still creates a courtyard feel to the 'rear' of the building, however it also helps to reduce the overall mass and impact on the adjacent neighbours.



Fig 4.3.1 Clear Architects, Internal Courtyard
Previous approved scheme, October 2017

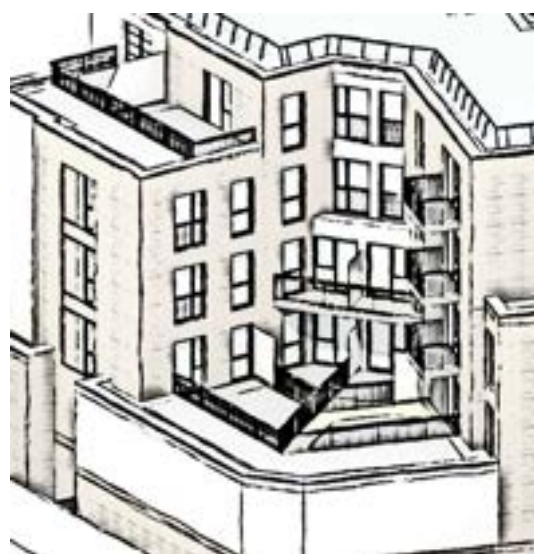


Fig 4.3.2 Weedon Architects, L shaped open courtyard
Proposed Scheme, January 2024

In addition to improving the outlook to the apartments, we have sought to improve the amenity spaces, providing all apartments with either a Juliette balcony and/or an external balcony or terrace.

Where apartments are located within the existing building / façade, we have utilised the recesses as balconies, designed to provide a visual separation between the existing and proposed. These spaces will feel secluded and protected, whilst celebrating the union between old and new.

These apartments will also benefit from original features, such as the art deco windows and increased ceiling heights compared to the rest of the scheme, which will create a high quality, bespoke feel to these apartments.



Fig 4.3.3 Proposed apartments within the existing building

4.4 Vehicular, Pedestrian & Cycle Access

Refer to Paul Mew Associates for the Transport Statement

Vehicular - There are no proposals to change vehicle access around the site. The existing 15 minute short stay parking zone will remain on Beech Hall Road and in addition, an accessible parking space will be provided, which is not dedicated to the development.

The location of the bin stores on Beech Hall Road means that refuse lorries will be able to collect waste from the proposed scheme (as they already do serving the existing residential properties) without impacting traffic on the busier main Hale End Road.

Pedestrian – The layout of the cinema entrance affords the opportunity to provide level access into the cinema foyer, which is currently stepped. It is proposed as part of the works the existing steps will be repaired inline with the recommendations included within the Historical Building Survey Report and a ramp formed to the side. Level access will also be provided to the Residential Entrance, Cycle and Bin Stores, with appropriate weathering measures in place.

Cycle – 61 secure spaces have been provided within an internal Bike Store, at the ground floor via level access off the Beech Hall Road pavement. Further 6 short stay cycle spaces are provided adjacent to the cinema entrance and internally 6 secure spaces are provided for the Cinema staff via the Service Entrance off Beech Hall Road.

Refer to Appendix B for cycle provision calculations.

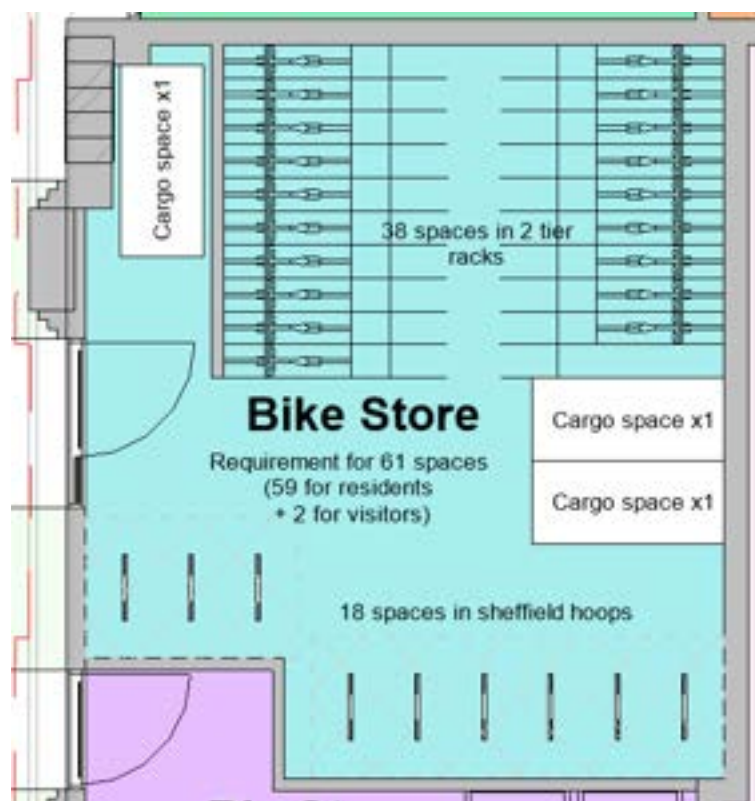


Fig 4.4.1: Layout of proposed Bike Store (not to scale)

4.5 Refuse Strategy

Refer to Paul Mew Associates for the Transport Statement, *6.0 Refuse & Servicing*

Refer to Appendix C for Refuse calculations. Note the residential bin store calculations were based on 'London Borough of Waltham Forest Waste & Recycling Guidance for Developers'.

Refuse from the Cinema and Residents will be segregated as shown on the extract below, with the Cinema Bin Store having both internal and external access, whereas the Residents Bin Store will only have external access.

Based on the apartment numbers, x7 1100L bins are required for the Residents Bin Store, based on a weekly collection for refuse & recycling. Note the managing agent will be responsible for redistributing bins once full, to ensure compliance with the provision required.

4x 1100L bins have been allocated to the Cinema Bin Store. Note the management of this facility will be dependent on the future cinema operator.

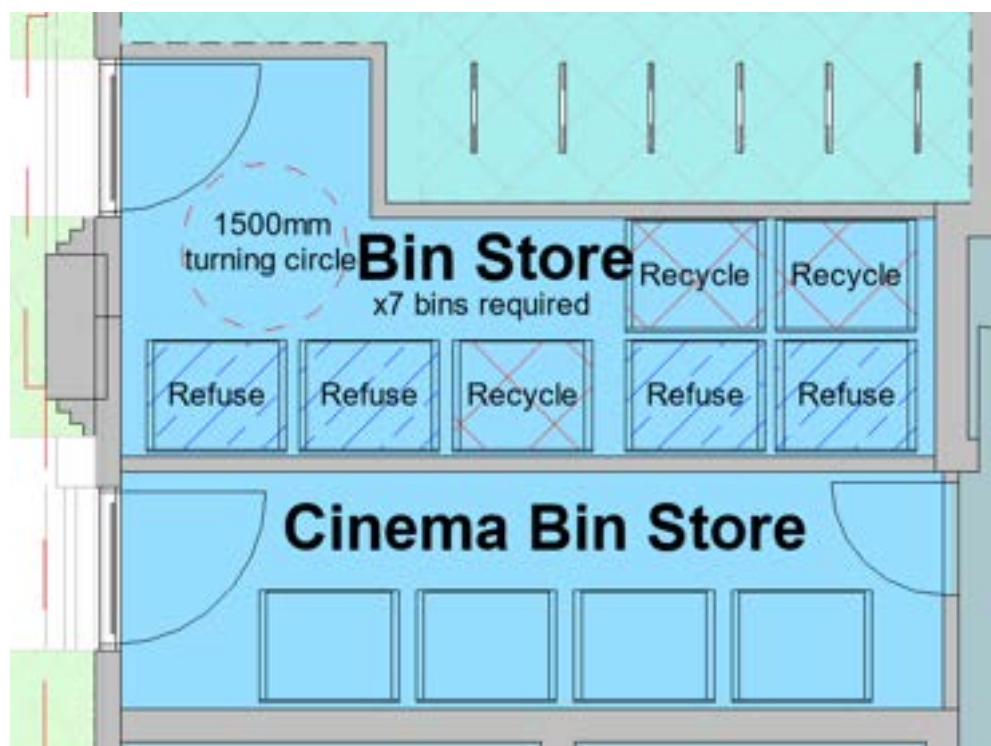


Fig 4.3.1: Layout of proposed Bin Store (not to scale)

4.6 Inclusive Access

Visitor pathways around the site will not fall below 1:20.5, any prolonged inclines will be interspersed with 1:60 landings as appropriate. This approach provides access for multiple users. The primary pathways are 3m wide to afford multi-directional access to able bodied users, wheelchair users and families with pushchairs.

5.0 Scale and Context

5.1 Scale of the Building

The scale of development takes account of the restrictions and influences of the site. Although generally the proposal is 6-storey across the entire site, visually the vertical emphasis remains centred on the existing Regal Cinema façade on the corner of Hale End Road and Beech Hall Road. Setbacks and changes in materiality at the upper levels assist in reducing the visual mass of the scheme and changes in the height of the principal elevation planes look address the transition from the adjacent 2-storey residential and mixed-use terraces when viewed at street level.



Fig 5.1.1: Massing visual from street level (not to scale)

At street level proposed fenestration along Hale End Road is more commercial in design, scale and detailing. Whilst one bay is by necessity obscured, the other affords active views into the cinema screen entry/exit lobby area.

On the proposed extension, above the Regal façade, the fenestration is designed to respect and reflect the scale and art deco detailing below and is generally orientated in portrait.

Along Beech Hall Road, fenestration is more residential in scale and proportion, with a general horizontal emphasis on all but the upper most levels designed to reflect and respect the adjacent low-rise properties.

To assist with reducing the overall mass, various steps have been introduced across the facades. The steps vary across floors and elevations, to create a more organic, less ordered approach. Either side of the main façade are two important set backs, which allow the existing façade to be read on its own, without blending into the proposal. The proposed extension on top of the existing façade is again read as a separate mass and we have ensured a different material, which is more in keeping with the existing features is proposed.

The set backs have also been designed to reduce the impact on the surrounding neighbours, particularly the residential properties on Beech Hall Road. It should be noted that Hale End Road comprises of commercial properties, which the proposed main mass will border.

Particular care has been given to the residential properties and this is reflected in the number of set backs to the south elevation. The second to fourth floors are set back by 3.5m and this increased to 9.3m on the fifth floor, greatly reducing any potential overbearing impact.

Figure 5.1.2 below shows the various relevant setbacks to the neighbouring properties for reference.

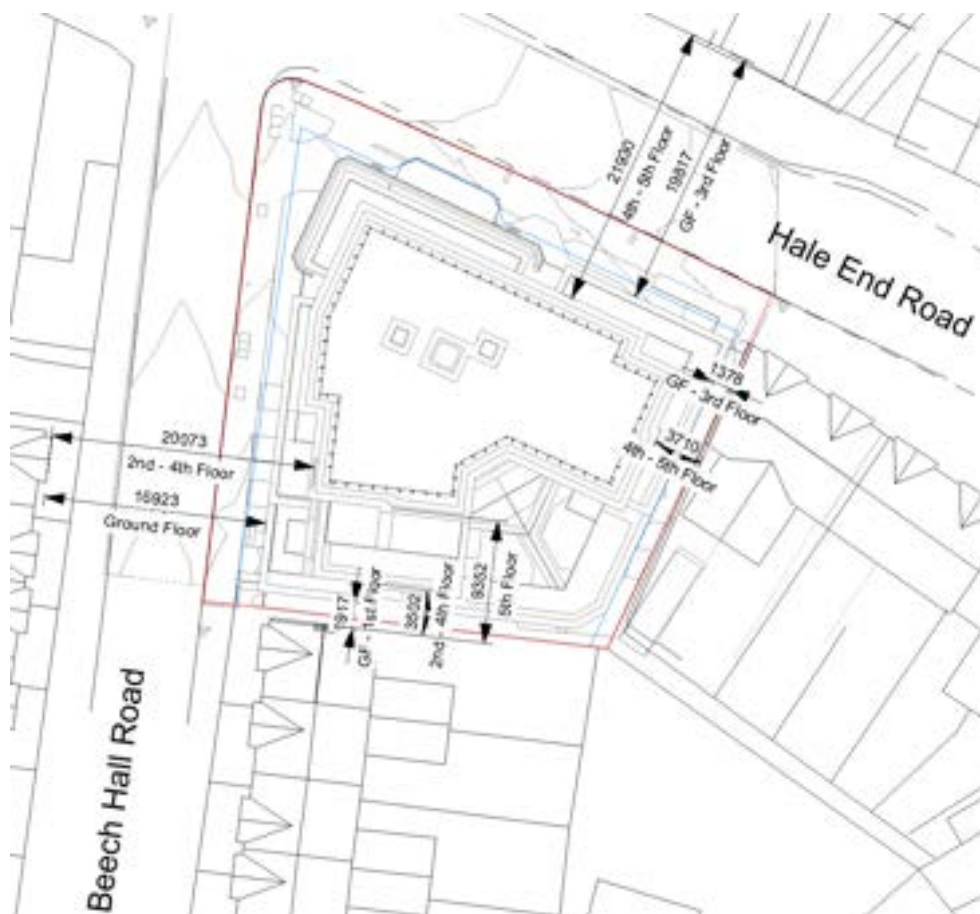


Fig 5.1.2: Site Plan showing setbacks to the neighbouring properties (not to scale)

6.0 Landscaping

External spaces within the Regal development have been designed to enhance the building, street scene and private spaces for residents and ecology.

The ground floor has been planted with a diverse range of perennial planting with structural evergreen shrubs. Proposed trees seek to translate the scale of the building down to street level. A small leaved lime at creates an arrival space at the building entrance.

Private balconies and terraces on the upper floors provide private spaces for residents' entertainment and relaxation. Raised planters divide gardens with flowering perennials and structural shrubs.

Green roof systems have been utilised, creating green space whilst providing privacy setting the gardens back from the buildings edge.

The roof comprises an intensive green roof system, planted with a native wildflower meadow, this private space is for sole benefit of wildlife contributing to key eco-system services.

The Urban Greening Factor (UGF) has been achieved through a variety of landscape applications. From tree and seasonal perennial planting enhancing the street scene at ground level to apartments terrace gardens and green roof systems. The UGF score has been achieved through an iterative design approach that works with the building and its users.

Refer to Greenwood's Arboricultural Impact Assessment & Laird Baileys drawings LB430_D01a & LB430_D02 for the Landscaping proposal.

The Regal - Urban Greening Factor Calculator				
Surface Cover Type	Factor	Area (m ²)	Contribution	Notes
Semi-natural vegetation (e.g. trees, woodland, species-rich grassland) maintained or established on site.	1	0	0	
Wetland or open water (semi-natural; not chlorinated) maintained or established on site.	1	0	0	
Intensive green roof or vegetation over structure. Substrate minimum settled depth of 150mm.	0.8	350.01	280.00	Substrate depth of 150mm to be planted with Native Wildflower Meadow Mat.
Standard trees planted in connected tree pits with a minimum soil volume equivalent to at least two thirds of the projected canopy area of the mature tree.	0.8	25.13	20.11	2x Crataegus monogyna 'Stricta' with 4m spread spread (as per Barcham Trees) with shared 21.38m ² rooting area.
Extensive green roof with substrate of minimum settled depth of 80mm (or 60mm beneath vegetation blanket) – meets the requirements of GRD Code 2014.	0.7	48.81	34.16	Substrate depth of 80mm to be planted with a 'Rockery Type Planting' plug mix.
Flower-rich perennial planting.	0.7	109.33	76.53	Mix of herbaceous perennials, flowering shrubs and bulbs within both public realm and within raised planters as part of private roof terrace gardens.
Rain gardens and other vegetated sustainable drainage elements.	0.7	0	0	
Hedges (line of mature shrubs one or two shrubs wide).	0.6	0	0	
Standard trees planted in pits with soil volumes less than two thirds of the projected canopy area of the mature tree.	0.6	78.54	47.12	1x Tilia cordata 'Greenspire' with 10m spread (as per Barcham Trees) with 8.59m ² rooting area.
Green wall – modular system or climbers rooted in soil.	0.6	0	0	
Groundcover planting.	0.5	0	0	
Amenity grassland (species-poor, regularly mown lawn).	0.4	0	0	
Extensive green roof of sedum mat or other lightweight systems that do not meet GRD Code 2014.	0.3	0	0	
Water features (chlorinated) or unplanted detention basins.	0.2	0	0	
Permeable paving.	0.1	70.09	7.01	Ground floor permeable paving
Sealed surfaces (e.g. concrete, asphalt, waterproofing, stone).	0	499.62	0	
Total contribution			484.94	
Total site area (m²)				1077.8561
Urban Greening Factor				0.431354204

7.0 Appearance/Design

7.1 Design



Fig 7.1.1 Proposed visual

The building is positioned and designed to make best use of the site available whilst also minimising the visual impact on the neighbouring residential properties, assimilate well with the character of the surrounding area and generate activity at street level along Hale End Road.

Sitting either side of the retained Regal façade and set back slightly from the existing building line, the return planes of the two new primary elevations are formed in facing brickwork that is buff in

colour to tie the proposed with the surrounding buildings, their height subservient to an extended Regal with horizontal corbel detailing designed further reduce their verticality. Along Beech Hall Road the masonry steps down to meet the adjacent two storey residential properties. Along Hale End Road the new facade presents a transition between the pitched roofs of the 2-storey mixed use terrace and the new vertical masonry extension the existing Regal facade on the corner. Art deco design cues are carried through with horizontal corbelling, the balcony balustrade design, touches of coloured tiles and multi-step reveals, providing subservient, elegant and complimentary facades.



Fig 7.1.2 Proposed visual

The 2-storey extension above the Regal façade is stepped back slightly and formed in pigmented green zinc cladding, contributing to the crafted nature of the Regal's heritage, however allowing for a distinction between old and new. The design aims to create a vertical emphasis on the existing building and helps the building to visually 'turn the corner'.

We have taken precedent from the glazed turquoise bricks in the main Regal façade and incorporated further glazed bricks across the

proposal. Either side of the existing Regal façade it is proposed a band of glazing, framed with glazed bricks will allow the existing façade to breath and ensure the lines between the old and new

is not lost in future, especially as we have proposed buff brick book ends to both the North and West facades. The upper two floors of the extension are set back further and clad with pigmented grey zinc standing seam cladding. The change to a lighter grey zinc will ensure the proposed masses are read separately and the lighter colour is designed to diminish into the sky, reducing the visual impact of the upper storeys.

The existing Regal frontage is to be fully restored back to its former glory with the red brickwork cleaned and pointing repaired to the original profile. Further repair works are proposed to the existing facades, highlighted in the Historical Condition Survey Report. Reference should be made to Weedon Architects Proposed Elevations, A8020 series and External Bay Study 07.

The existing aluminium windows will be replaced with new thermally broken aluminium frames and double glazed units, of the same or very similar profiles as recommended in the Historical Building Survey Report.

The existing Regal foyer doors are also proposed to be replaced by fully glazed units, taking reference from the advice provided in the Historic Condition Survey Report, it is proposed the glazing will align with the windows above the canopy, providing cohesion to the façade and aligning with the original intent as shown on the rendered 1935 image (fig. 7) included within the Historic Survey Report.

On the flank wall of The Regal, 2 advertising hoardings will be removed to reveal existing window openings that will be utilised for the proposed apartments.

With the front of the building being used for public access to the cinema and café; access to the residential accommodation will be from Beech Hall Road, which is a residential street. This will separate the public / private residential use.

It is proposed the existing canopy to the entrance of The Regal is retained and refurbished as highlighted in the Historic Condition Survey Report. Archival images are included within the report will inform the repair works required and it is proposed the external lighting to the canopy soffit is reinstated. At the time of writing, we do not have detailed survey drawings of the canopy to include within the planning submission, however reference can be made to External Envelope Bay Study 07, drawing no. A1307.

A key feature of the original façade were two flagpoles, with brackets built into the brickwork. It is proposed these are reinstated; the fittings strengthened where necessary and the poles replaced with aluminium or fibre glass, which the Historic Building Survey Report recommends and suggests wouldn't create a noticeable change to the original appearance.

It is proposed all modern signage and attachments are removed from the building and the faience elements are cleaned and repaired by a specialist. The brickwork will also be cleaned, using a micro-abrasive technique. It is suggested that a discreet area of brickwork is tested to confirm suitability. Following the façade being cleaned, the brickwork will be repointed to match the existing mortar.







Fig 7.1.1: Proposed Elevations – North & East



Fig 7.1.2: Proposed Elevations – South & West



7.2 Materials Used

Element	Image	Notes
Zinc cladding to above the existing Regal façade		Pre-finished pigmented cassette zinc cladding Colour: green
Zinc cladding to the extension		Pre-finished pigmented standing seam zinc cladding Colour: grey
Buff brickwork to the extension		Buff brick to align with the adjacent neighbouring properties
Glazed bricks		Note: Pattern to be developed further and can be subject to condition Colour: Teal / turquoise to match the existing
Art deco style balustrade to Juliette balconies and individual balconies		PPC metal balustrade Rectangular design taken precedent from the existing window fenestration in the Art deco façade
Large terraces / terraces with parapets		PPC metal balustrade

7.3 External Lighting

The external lighting will comprise of 4 different styles as set out below. The architectural intent is shown on Weedon Architects drawing A8051, however will be confirmed by a specialist in terms of quantities, fittings and lux levels.

1. Up / down lights to compliment the vertical nature of the existing brick piers
 - Up / down lights will illuminate key features of the façade at nighttime, whilst also being located adjacent to doorways to assist with access. Reference has been taken from Fig 22 of the Historical Building Survey Report, where wall mounted lights were used to illuminate the main façade and posters.
 - A subtle fitting is proposed not to detract from the architecture.
2. Soffit lights to the existing Regal canopy
 - Reference has been taken from the historical image, Fig 13 of the Historical Building Survey Report, to inform the quantity, position and size of the soffit lights that illuminated the canopy / cinema entrance. It is proposed a circular extruded fitting is used.
3. Soffit lights to the apartment entrance
 - More simplistic soffit lights are proposed to the apartment entrance to align with the cinema canopy.
4. Downlights / bulkhead lights are proposed to the back of house areas, to provide well lit emergency escape routes.
5. Illuminated signage
 - As recommended in the Historical Building Survey Report, it is proposed to reinstate the neon signage over the 'Regal' signs on the building façade and the illuminated poster panels.
 - To take reference from the historical illuminated signage, common to both The Regal and cinemas in general, it is proposed the apartment entrance signage will also be illuminated in a more contemporary style.
6. Cinema / advertising signage will be subject to the future operators requirements. This will be subject to a further planning application.

7.4 Sustainability & Drainage

Refer to:

- Flume Consulting Engineers's SuDS Assessment
- Compliant EPC LTD Energy Statement
- Daylight and Sunlight Ltd Daylight & Sunlight Report

8.0 Access

Information on access has been incorporated within previous sections of this document. See 4.1, 4.2 and 4.4

8.1 Secure by design

Residential Areas

1. There is no connection between the residential areas and cinema.
2. The fire escape route for cinema is further protected with an internal gate.
3. Through wall letterboxes will ensure secure delivery without the need to enter the premises
4. Door and windows specifications would be required the below, however a further workshop is required with the SBD consultant:
 - Ground level communally accessed residential doors (e.g. main entrance, lobby door, post room door, bin and bike store) – LPS 1175 SR2/B3 or STS 202 BR2.
 - Upper level stair core doors on Access control – PAS 24:2016.
 - Individual residential front doors – PAS 24:2016 with a spy hole and key chain.
 - Adjoining balconies/easily accessible individual residential doors and windows – PAS 24:2016 with a layer of toughened and a layer of laminate to P1A minimum for any glazing.
 - Upper level Amenity space door – ideally LPS 2081 SRB or STS 222 although PAS 24:2016 minimum with P4A laminate could be accepted.
 - Roof access – if not an AOV then secured with a Sold Secure Silver (minimum) padlock or PAS 24:2016 if a doorset.
 - Commercial ground level external doors and glazing – LPS 1175 SR2/B3 or STS 202 BR2
 - Gating – LPS 1175 SR1/A1 minimum.
5. Based on the number of apartments in this development, the below two options for compartmentation which will be required:
 - destination controlled lifts and fob controlled access on door leading from stairs onto each floor's residential hallway.
 - floor by floor security compartmentation via Audio-Visual, data logged panels (with fob reader for residents). Residents will be required to pass through 3 activation points, prior to reaching their apartment front door.
6. The residential entrance comprises of a double door secure air lock to prevent people tailgating, with good visibility and less opportunity for hiding places.

7. Post Room to be fob controlled and with CCTV coverage inside.
8. Single doors to the Cycle Store and Bin Store to be on a data logged fob access control.
9. Access Control Box (ACB) to the front of the building for a drop key box/fireman's switch for LFB access.
10. CCTV to be provided and positions agreed with the SBD consultant.

Commercial Areas

1. Back of house areas to be suitably controlled via a data logged access control system.
2. Gating fitted with push bars etc will be shrouded to ensure they cannot be pressed from the outside. Gates will also be non-climbable.
3. CCTV to be provided to the external shell of the building as a minimum and on main circulation zones. Internal CCTV will need to be reviewed and agreed with the SBD consultant.

9.0 Pre-Application

Positive and constructive feedback was received following pre-application discussions, initially on 5th December 2022 and later on 11th December 2023.

Positive commentary on the proposals highlighted the following:

- *The approach taken in relation to residential entrances is preferred and is an improvement when compared with the approved scheme*
- *The changes in the bulk and form of the upper floors, with an L-shaped approach, would not unduly impact on the amenity of neighbouring residents*

Concerns raised, which we have sought to address with the latest proposals include:

- *Bulk, height and massing of scheme is overbearing and has a detrimental impact on the locally listed building*
- *Relationship between the proposed building and neighbouring buildings (insufficient set down/back)*
- *Significant number of single-aspect units (some north-east facing)*
- *Majority of units have no private amenity or well below policy requirements, narrow/unusable*
- *Clarification on what appears to be a poor outlook from some internal windows*
- *No communal amenity provided*
- *Inactive frontages – both on Hale End Road and Beech Hall Road*
- *SBD - blind spots, pro antisocial behaviour*

- *Dwelling mix*
 - *Studio flats (unacceptable)*
 - *2 additional 1bed, 2 additional 2bed and 1 additional 3bed (no additional 3beds)*
- *Materiality of upper floor extensions – visually feels heavy in appearance*
- *No wheelchair parking*
- *From a heritage perspective I would just really emphasis that the proposed massing, bulk and design completely overwhelms the locally listed building at present and simply doesn't work.*
- *No mention of sustainability measures*

10.0 Public Consultation

Following several rounds of pre-application advice and Design Council reviews, we held a public consultation in November 2022 to gain the communities thoughts on our proposed design. The design was well received, with positively towards reinstating a focal point in Highams Park.

87 comments were collected on the day and a further 53 were submitted online:

- 61% positive
- 17% neutral
- 11% negative
- 11% no opinion

11.0 Planning Policy

Please refer to Savills planning statement

12.0 Conclusion

The Regal Cinema has been a much loved and cherished part of the Highams Park community since it opened in the 1910. The Regal has been part of the communities lives, originally providing a key community space for people to meet and socialise.

The cinema survived the Second World War and had been a successful anchor for the community for the last 114 years, however it is currently standing in a state of disrepair, which through no fault of its own is gradually worsening.

The Regal's current owners, Mammoth Construction recognise the important of this building; it's history, art deco design / architecture, original intended use and its importance for the community and they want to reinvigorate The Regal, bringing it into the twenty-first century, through extensive improvements to the original fabric and providing not only a community space in terms of a two screen cinema and a café, but also modern homes within the heart of Highams Park high street.

Through our design process, we have had an ongoing dialogue with the council, various rounds of pre-application advice and a public consultation, to ensure the design we have put

forwards meets not only the Clients needs, but also those of the Council, neighbours and community beyond.

We believe that The Regal is a key local landmark within Highams Park and that through our design and Mammoth's vision will reinstate the anchor that has been lost over time.

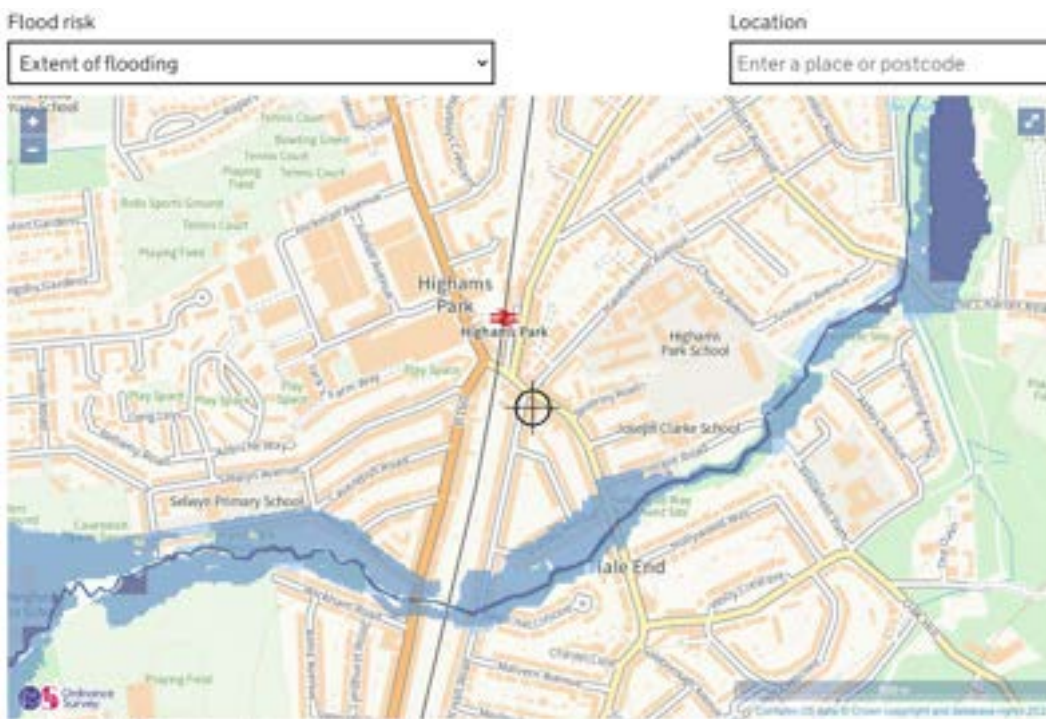
Fig 11.1.1: Proposed Visuals from Hale End Road



Fig 11.1.2: Proposed Visuals from Beech Hall Road



APPENDIX A – Flood Risk Statement



APPENDIX B – Cycle Parking Provision

Based on Waltham Forest Council requirements:

Apt Type	Number	Spaces required	Total
One Bed	18	1.5	27
Two Bed	15	2	30
Other	0	3	0
Total	33	6.5	57

Visitor Parking (minimum requirement of 2) 2

Total Required: 59

Type of racks required:

	Percentage	Spaces	Racks required
Two Tier	65%	38	19
Sheffield	30%	18	9
Cargo	5%	3	3
Lockers	n/a	0	0

59

APPENDIX C – Refuse and Recycling Provision

Residential bin store calculations were based on ‘*London Borough of Waltham Forest Waste & Recycling Guidance for Developers*’.

Required ratio: 50% refuse and 50% recycling

Apt Type	Number	Weekly refuse and recycling in litres	Total
One Bed	18	200	3600
Two Bed	15	240	3600
Other	0	0	0
Total	33	440	7200

Number of 1100 litre bins required: 6.5

Rounded up: 7